



**ehB**  
**Reeves**  
commercial property experts

**To Let**

Industrial/Warehouse Premises

**14,028 sq.ft** (1,303 sq.m)

Horizon House, Millers Road, Warwick, Warwickshire, CV34 5AE

## Location

The property is prominently situated fronting Millers Road at the junction with Lock Lane in the Cape area of Warwick, approximately half a mile north west of the town centre and a short walk from Warwick Hospital.

Warwick Station is a short walk away and access to the A46, less than 1 mile away, via Cape Road, Wedgnock Lane and onto the A425 Birmingham Road, or via the Coventry Road.

## Accommodation

The premises are of North light roof construction, with eaves height of 4.68m. The warehouse/workshop is accessed from the yard and car park at the front via a roller shutter loading access door. The site is gated and fenced.

Office accommodation is situated to the front of the unit and comprises reception area, private office/meeting room, and WC facilities.

In addition there is a toilet block, staff welfare room, and secure store to the rear of the warehouse.

## Tenure

The premises are available by way of a new full repairing and insuring lease for a term of years to be agreed.

## Services

All mains services are connected including gas and 3-phase electricity.

**EPC C 69**



**SAT NAV: CV34 5AE**



**Zoom.dusty.nets**

## Planning

Class E (formerly B1 & B8)

## Rent

£90,000 per annum exclusive.

## VAT

TBA

## Rates

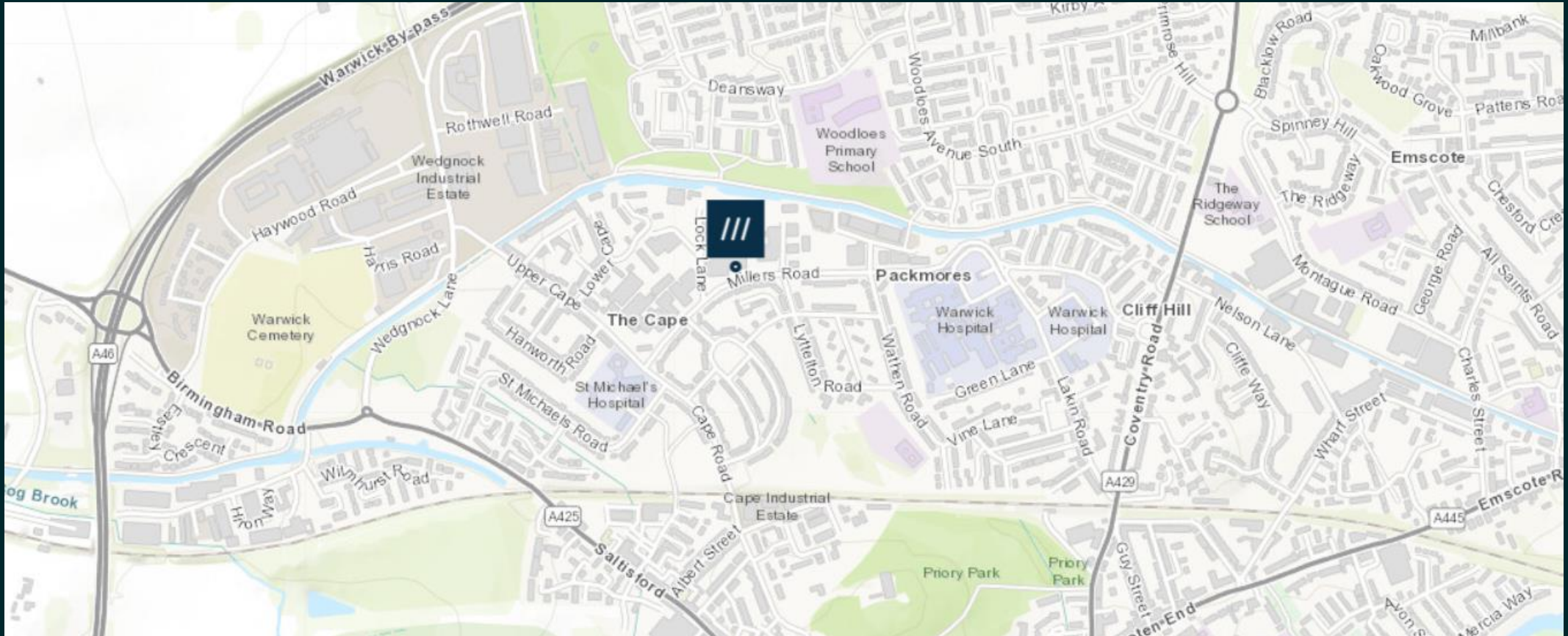
The rateable value for the current year is to be advised.

## Legal Costs

Each party to be responsible for their own legal costs and surveyors' costs incurred in the granting of a lease.



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Somerset House  
Clarendon Place  
Royal Leamington Spa  
CV32 5QN

**For viewing arrangements, contact:**  
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